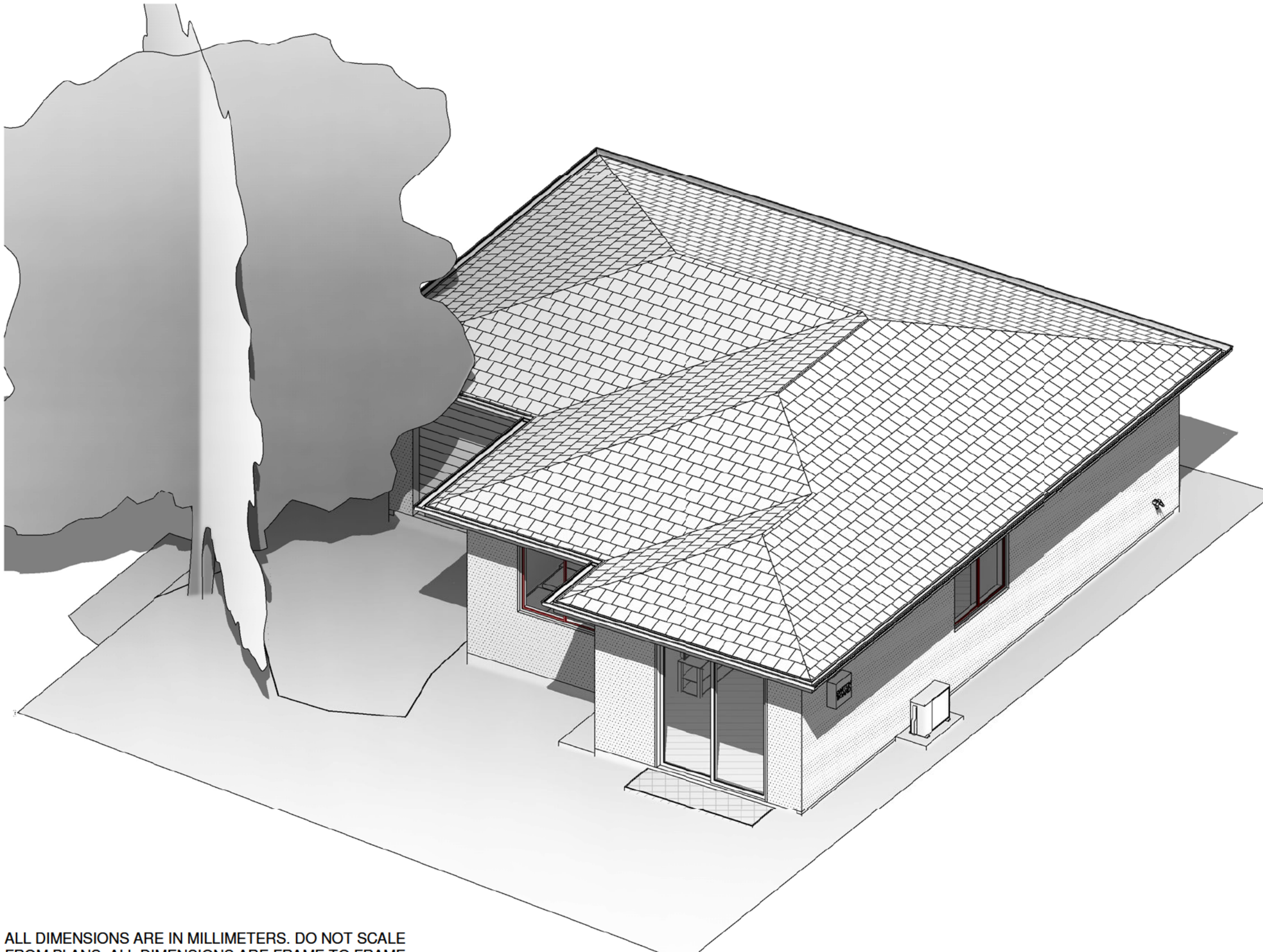


# PROPOSED GRANNY FLAT & ATTACHED GARAGE

## 76 KING STREET, ASHBURY NSW



**LOCATION MAP  
NOT TO SCALE**

### Sheet List

Sheet Number	Sheet Name
1	COVER SHEET
2	BASIX
3	DEMOLITION PLAN
4	SITE PLAN
5	FLOOR PLAN
6	ELEVATION
7	3D VIEW
8	SECTION
9	KITCHEN
10	BATHROOM
10.1	SLAB PLAN
10.2	DRAINAGE PLAN
11	LANDSCAPE PLAN
13	STORMWATER CONCEPT PLAN
14	SEDIMENT CONTROL & CONSTRUCTION MANAGEMENT PLAN

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**RESCON BUILDERS**  
 ABN: 90 155 297 420 LICENCE: 246426C  
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26.02.2019	SKETCH AMENDMENT	2	PH	R.D.
28.08.2020	DA	3	PH	R.D.

CLIENT'S NAME:  
**Luis Sidonio Pestana**  
 SITE ADDRESS:  
**76 King Street  
 Ashbury  
 NSW 2193**

SHEET NAME:  
**COVER SHEET**  
 DESIGN NAME: **Furci + Garage**  
 RANGE: **DESIGNER**  
 PROJECT STAGE: **DA**  
 SCALE @ A3: **3**  
 SHEET NO: **1**  
 DATE: **28.08.2020**



Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Landscape			
The applicant must plant indigenous or low water use species of vegetation throughout 15 square metres of the site.	✓	✓	
Fixtures			
The applicant must install showerheads with a minimum rating of 3 star (> 6 but <= 7.5 L/min) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 6 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 6 star in each bathroom in the development.		✓	
Thermal Comfort Commitments			
Windows, glazed doors and skylights			
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.	✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:  • For the following glass and frame types, the certifier check can be performed by visual inspection.  - Aluminium single clear - Aluminium double (air) clear - Timber/uPVC/fibreglass single clear - Timber/uPVC/fibreglass double (air) clear	✓	✓	✓   ✓

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
North facing					
W01	1200	1450	aluminium, single, clear	eave 550 mm, 175 mm above head of window or glazed door	not overshadowed
East facing					
W02	2100	1810	aluminium, single, clear	eave 550 mm, 175 mm above head of window or glazed door	not overshadowed
W03	1200	1450	aluminium, single, clear	eave 550 mm, 175 mm above head of window or glazed door	not overshadowed
South facing					
W04	1200	1450	aluminium, single, clear	eave 550 mm, 175 mm above head of window or glazed door	not overshadowed
West facing					
Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
W05	1200	1450	aluminium, single, clear	eave 550 mm, 175 mm above head of window or glazed door	not overshadowed
W06	1030	1210	aluminium, single, clear	eave 550 mm, 175 mm above head of window or glazed door	not overshadowed

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Luis Sidonio Pestana

SITE ADDRESS:  
76 King Street  
Ashbury  
NSW 2193

SHEET NAME:  
BASIX

DESIGN NAME:  
Furci + Garage

RANGE:  
DESIGNER

PROJECT STAGE:  
DA

SCALE @ A3:  
REV NO:  
3

SHEET NO:  
2

DATE:  
28.08.2020

JOB NO:  
GF76KSA

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
General features			
The dwelling must not have more than 2 storeys.	✓	✓	✓
The conditioned floor area of the dwelling must not exceed 300 square metres.	✓	✓	✓
The dwelling must not contain open mezzanine area exceeding 25 square metres.	✓	✓	✓
The dwelling must not contain third level habitable attic room.	✓	✓	✓
Floor, walls and ceiling/roof			
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓

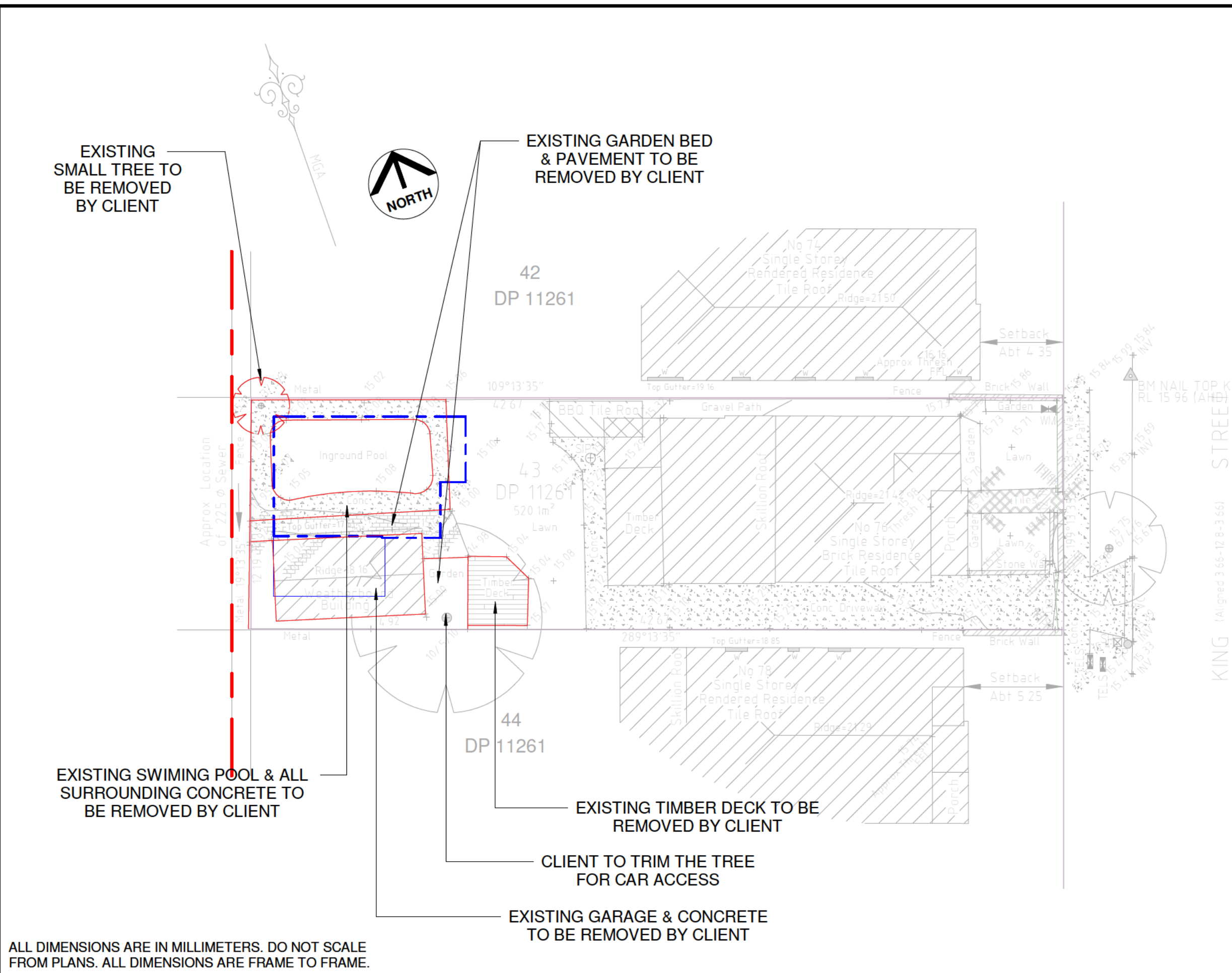
Construction	Additional insulation required (R-Value)	Other specifications
floor - concrete slab on ground	nil	
external wall - external insulated façade system (EIFS) (façade panel 75 mm)	nil	
internal wall shared with garage - plasterboard	nil	
ceiling and roof - flat ceiling / pitched roof	ceiling: 3.5 (up), roof: foil/sarking	unventilated; dark (solar absorbance > 0.70)

Note	• Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.
Note	• In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 6 stars.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning. Energy rating: 3 Star (old label)		✓	✓
The bedrooms must not incorporate any cooling system, or any ducting which is designed to accommodate a cooling system.		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning. Energy rating: 3 Star (old label)		✓	✓
The bedrooms must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off  Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off  Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓  ✓  ✓	✓  ✓  ✓
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: • at least 2 of the bedrooms / study;  • at least 5 of the living / dining rooms:  • the kitchen:		✓  ✓  ✓	✓  ✓  ✓

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
• all bathrooms/toilets;		✓	✓
• the laundry;		✓	✓
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓
The applicant must install a window and/or skylight in 1 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	





**SITE WORK TO CLIENT**

CLIENT TO CLEAR SITE (e.g. SHRUBS, SHED, SLAB, TREES, FENCE, GARDEN BED, SWIMMING POOL, CLOTHES LINE ETC.) IF NECESSARY WITHIN FOOTPRINT OF PROPOSED GRANNY FLAT PRIOR TO COMMENCEMENT OF CONSTRUCTION

CLIENT TO REMOVE ANY STRUCTURE FOR RESCON BUILDERS TO GAIN MINIMUM 1 meter ACCESS TO THE BUILD AREA

SITE WORK TO RESCON	
DESCRIPTION	COMMENTS
n/a	

DEMOLITION PLAN

SCALE 1 : 200 1

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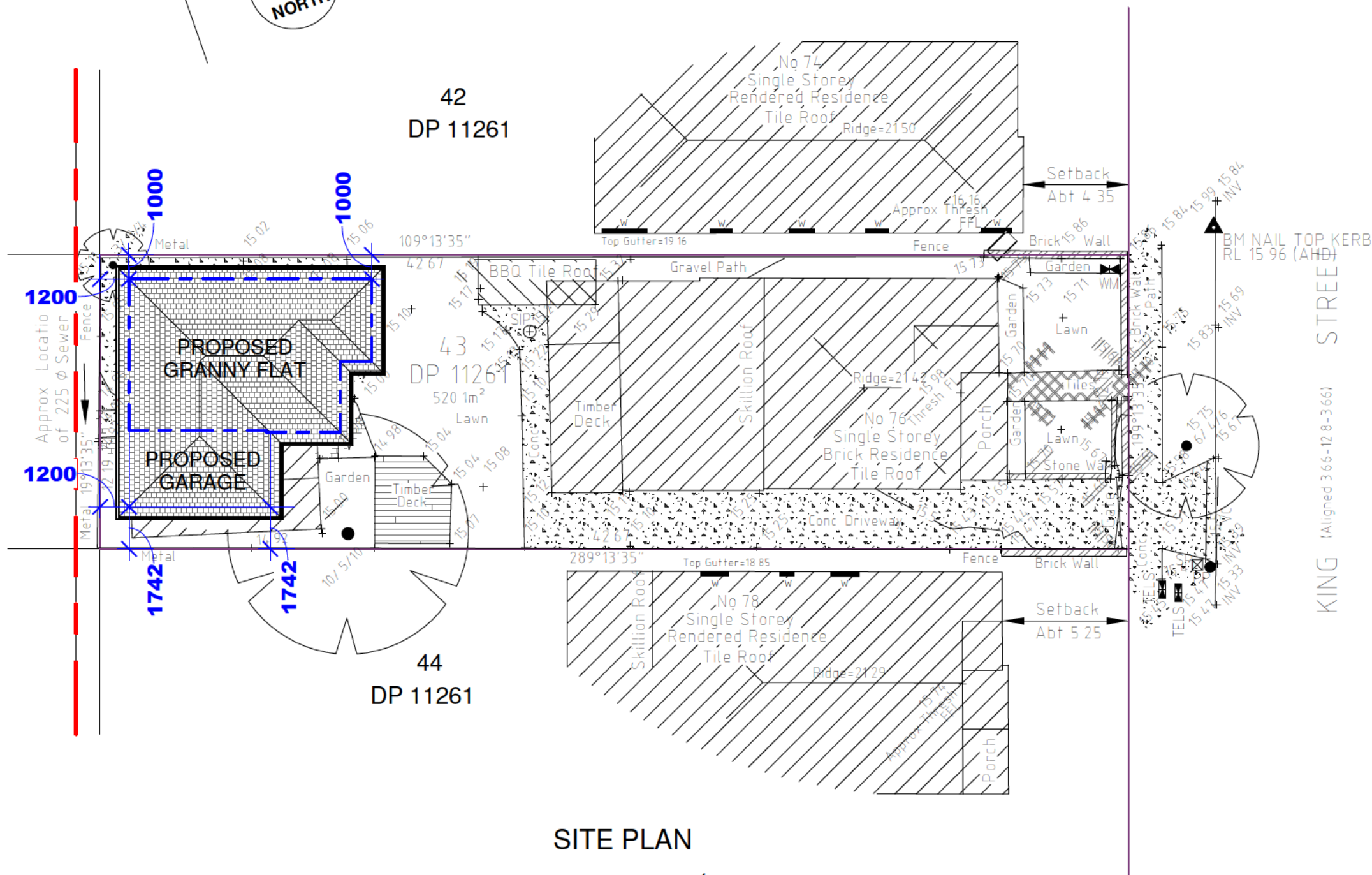
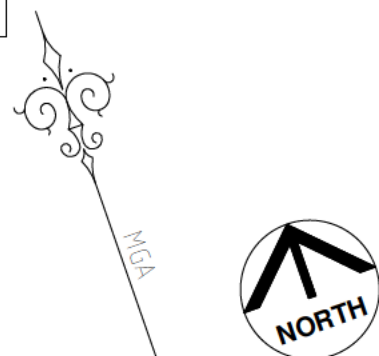
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28.08.2020	DA	3	PH	R.D.

CLIENT'S NAME:  
**Luis Sidonio Pestana**

SITE ADDRESS:  
**76 King Street  
Ashbury  
NSW 2193**

SHEET NAME:		JOB NO:	
<b>DEMOLITION PLAN</b>		<b>GF76KSA</b>	
DESIGN NAME:	RANGE:	SCALE @ A3:	SHEET NO:
<b>Furci + Garage</b>	<b>DESIGNER</b>	<b>1 : 200</b>	<b>3</b>
PROJECT STAGE:	REV NO:	DATE:	
<b>DA</b>	<b>3</b>	<b>28.08.2020</b>	

PATTERN	DESCRIPTION
	EXISTING SEWER CONNECTION
	SEWER MAIN



## SITE PLAN

SCALE 1 : 200

1

PROPERTY DESCRIPTION	
LOT:	43
D.P:	11261

DEVELOPMENT APPLICATION	
-------------------------	--

SITE CALCULATIONS	
SITE AREA	520.1 m <sup>2</sup>
LOT WIDTH	12.19m
<u>EXISTING AREA</u>	
EXISTING GROUND FLOOR:	129.3 m <sup>2</sup>
EXISTING FIRST FLOOR:	0.0 m <sup>2</sup>
EXISTING AWN NG:	42.1 m <sup>2</sup>
EXISTING GARAGE:	0.0 m <sup>2</sup>
EXISTING HARDSTAND AREA:	80.2 m <sup>2</sup>
EXIST NG MPERVIOUS AREA:	251.6 m <sup>2</sup>
<u>PROPOSED AREA</u>	
PROPOSED FLOOR AREA:	59.8 m <sup>2</sup>
PROPOSED AWN NG:	0.0 m <sup>2</sup>
PROPOSED GARAGE:	18.6 m <sup>2</sup>
OTHER PROPOSED HARDSTAND AREA:	34.4 m <sup>2</sup>
MPERVIOUS AREA AFTER DEVELOPMENT	364.4 m <sup>2</sup>
<u>LANDSCAPE AREA</u>	
TOTAL LANDSCAPE REQUIRED::	20%
TOTAL LANDSCAPE PROPOSED:	109.9 m <sup>2</sup> 21.1%
<u>LANDSCAPE AREA FORWARD BUILDING LINE</u>	
LANDSCAPE PROPOSED:	36.9 m <sup>2</sup> 7.1%
<u>LANDSCAPE AREA BEHIND BUILDING LINE</u>	
LANDSCAPE REQUIRED:	52.0 m <sup>2</sup> 10%
LANDSCAPE PROPOSED:	73.0 m <sup>2</sup> 14.0%
<u>FLOOR SPACE RATIO</u>	
FLOOR AREA AFTER DEVELOPMENT:	207.7 m <sup>2</sup>
FLOOR SPACE RATIO AFTER DEVELOPMENT:	39.9%
<u>SITE COVERAGE</u>	
SITE COVERAGE AFTER DEVELOPMENT:	48.0%



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**76 King Street**  
**Ashbury**  
**NSW 2193**

SHEET NAME:  
**SITE PLAN**

DESIGN NAME:	<b>Furci + Garage</b>
--------------	-----------------------

RANGE: <b>DESIGNER</b>	SCALE @ A3: <b>As indicated</b>
PROJECT STAGE: <b>DA</b>	REV NO: <b>3</b>

JOB NO:  
**GF76KSA**



# NOTES:

## HOUSE TO HOME PACK ARE INCLUDED:

- 1) TREATED TIMBER
- 2) SARKING TO WALLS
- 3) HEAVY DUTY SARKING TO ROOF
- 4) MIRROR ROBES
- 5) FLUED RANGEHOOD
- 6) USB POINT

Wall System	Render EPS
Bushfire Rating	N/A
Flood Issue	No
Acoustic Requirement	No
Ceiling Insulation	R3.5
Wall Insulation	R3.0
Floor Insulation	N/A
Concrete Cutting	Yes
Scaffolding	No

## DOOR Schedule

Mark	Location	Comments	Height	Width
1	ENTRY	External	2040	820
2	BED 1	Internal	2040	720
3	BATH	CSD	2040	720
4	BED 2	Internal	2040	720
5	GARAGE	Garage Door	2140	2470
6	L'DRY	Internal	2040	620
7	L'DRY	Internal	2040	620

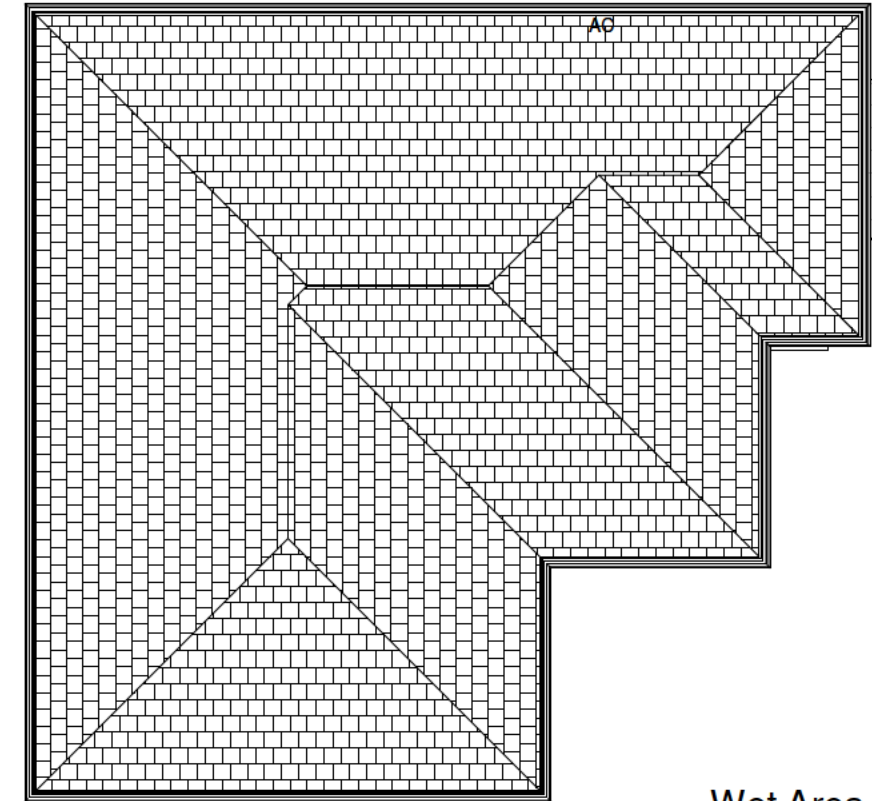
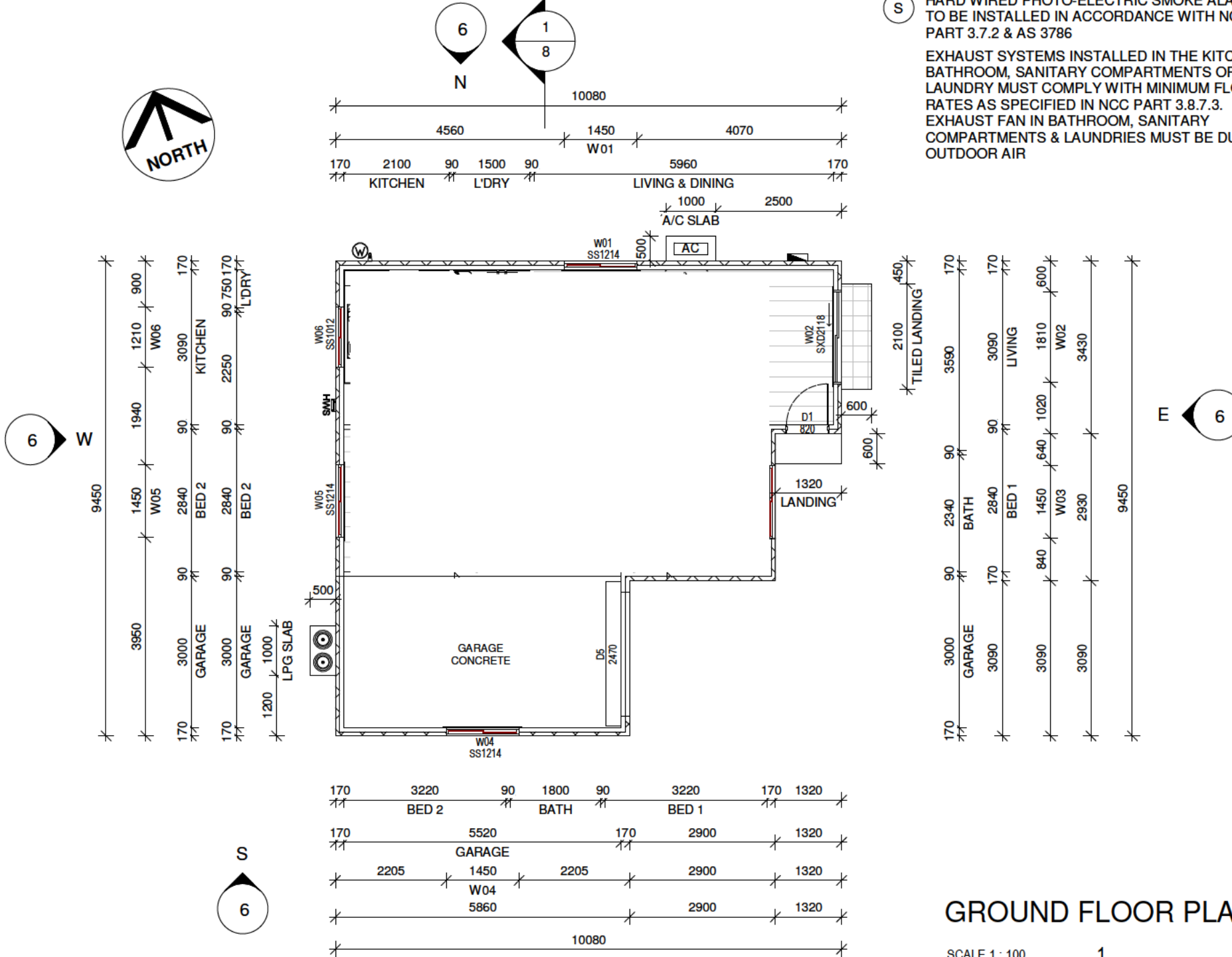
## Window & Sliding Door Schedule (Subject to BASIX)

Mark	Type	Height	Width	Glazing	Description	Window Area
01	SS1214	1200	1450	Single Clear	Aluminium Sliding Window	1.74
02	SXD2118	2100	1810	Single Clear	Aluminium Sliding Door	3.80
03	SS1214	1200	1450	Single Clear	Aluminium Sliding Window	1.74
04	SS1214	1200	1450	Single Clear	Aluminium Sliding Window	1.74
05	SS1214	1200	1450	Single Clear	Aluminium Sliding Window	1.74
06	SS1012	1030	1210	Single Clear	Aluminium Sliding Window	1.25
Grand total: 6 Add 30mm on each side for opening						12.01

Cooktop	LPG GAS
Hot Water System	LPG GAS

**S** HARD WIRED PHOTO-ELECTRIC SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH NCC PART 3.7.2 & AS 3786

EXHAUST SYSTEMS INSTALLED IN THE KITCHEN, BATHROOM, SANITARY COMPARTMENTS OR LAUNDRY MUST COMPLY WITH MINIMUM FLOW RATES AS SPECIFIED IN NCC PART 3.8.7.3. EXHAUST FAN IN BATHROOM, SANITARY COMPARTMENTS & LAUNDRIES MUST BE DUCT TO OUTDOOR AIR



## Wet Area

Furci + Garage	
Tile Bathroom & Laundry	5.5 m²
Grand total	5.5 m²

## FLOOR AREA

Furci + Garage	
External Concrete	1.3 m²
External Concrete	0.8 m²
Garage Concrete	18.6 m²
Internal Concrete (Floor Area)	59.8 m²
Grand total	80.4 m²

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ARTICULATION JOINT LOCATION TO MANUFACTURERS SPECIFICATIONS

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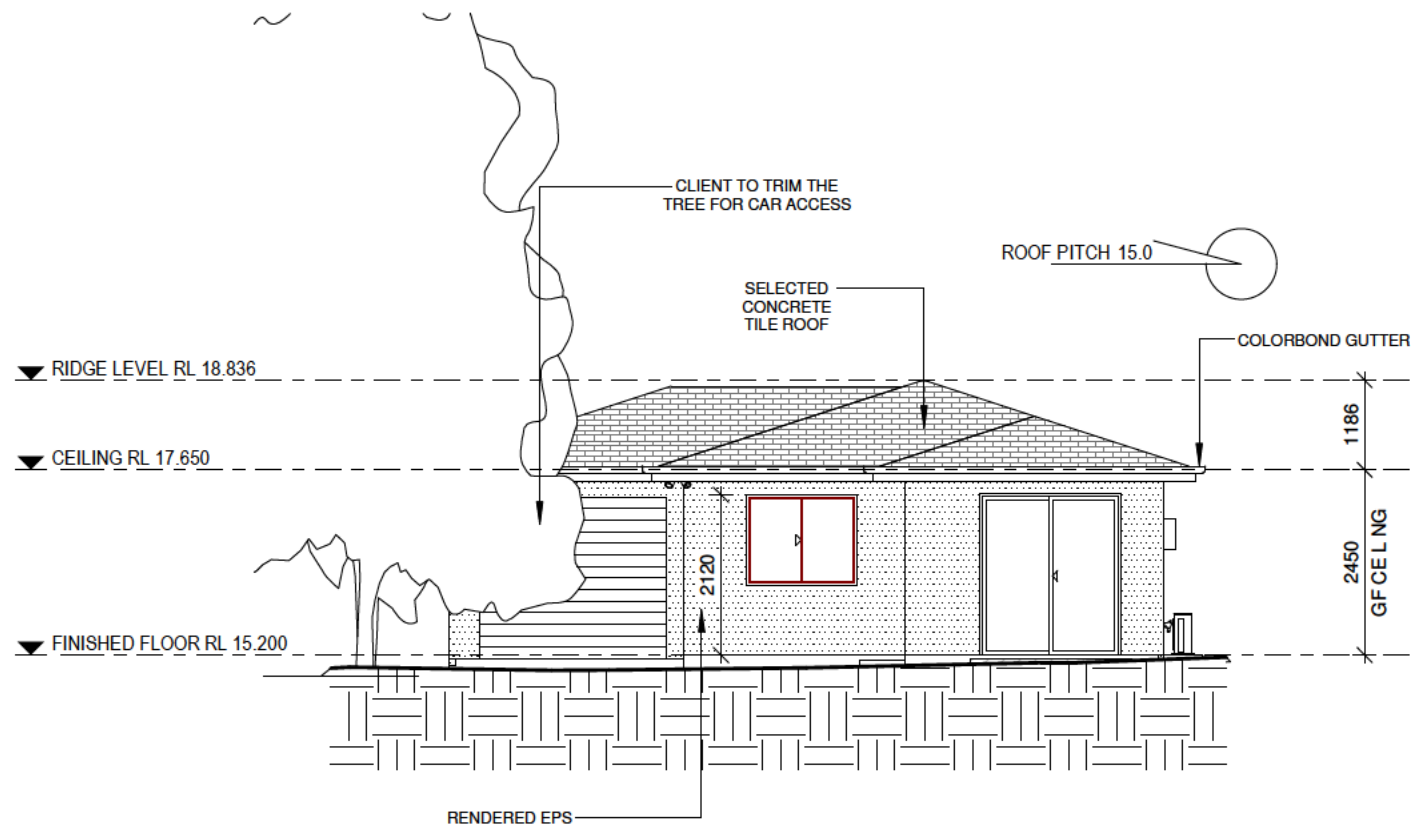
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NSW 2193**

SHEET NAME: <b>FLOOR PLAN</b>			JOB NO: <b>GF76KSA</b>
DESIGN NAME:  <b>Furci + Garage</b>	RANGE:  <b>DESIGNER</b>	SCALE @ A3:  <b>1 : 100</b>	SHEET NO:  <b>5</b>
	PROJECT STAGE:  <b>DA</b>	REV NO:  <b>3</b>	DATE:  <b>28.08.2020</b>

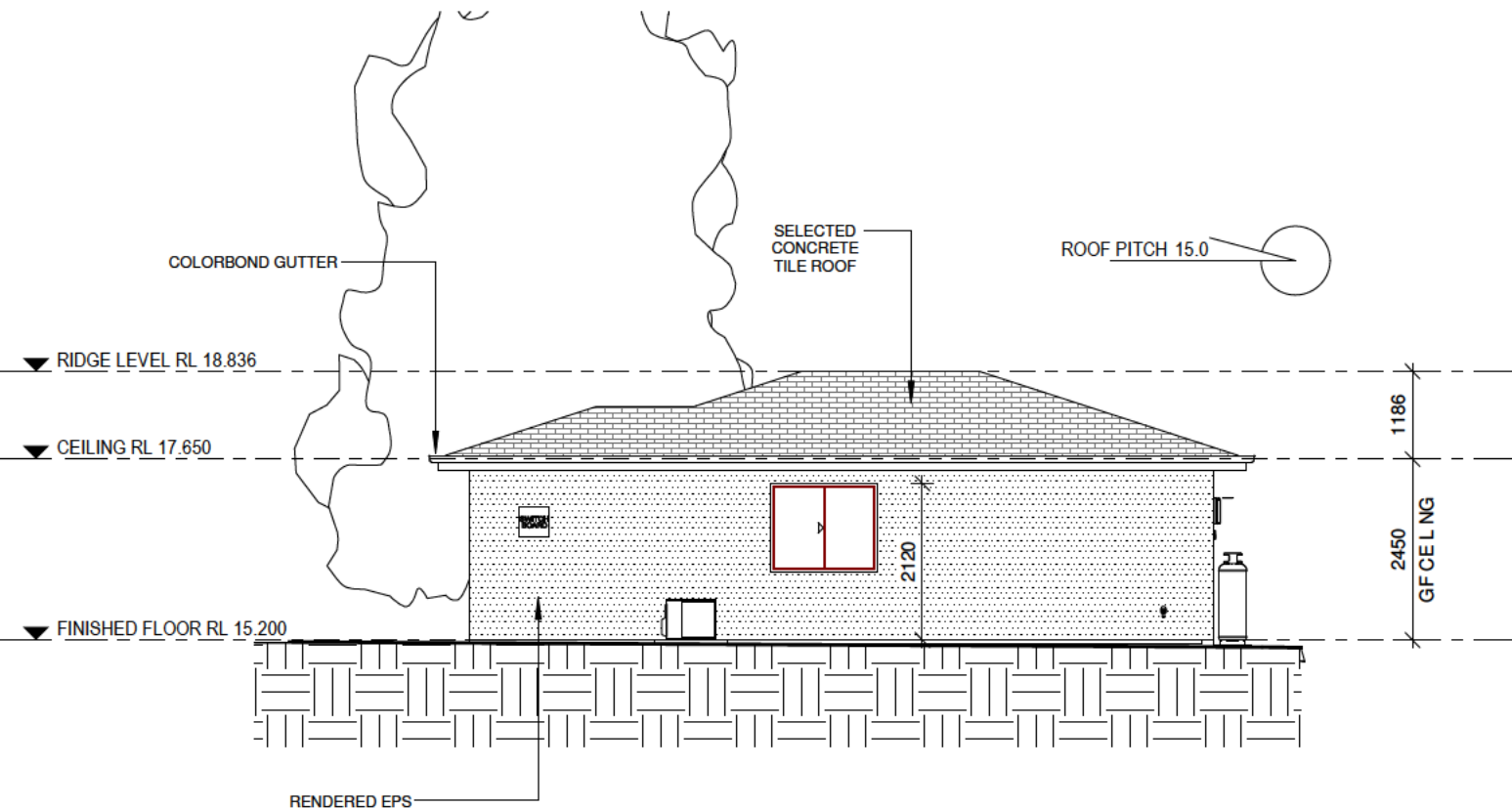




ELEVATION A

SCALE 1 : 100

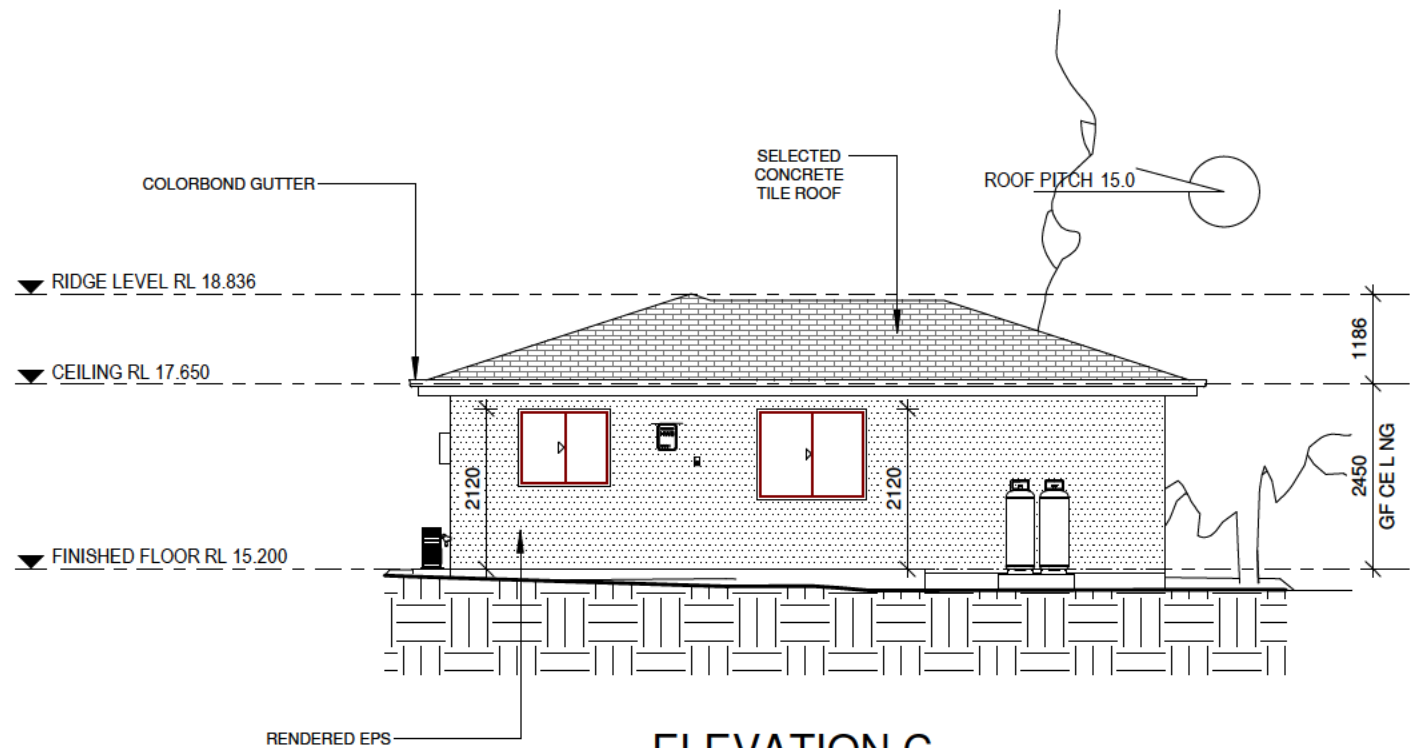
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ELEVATION B

SCALE 1 : 100

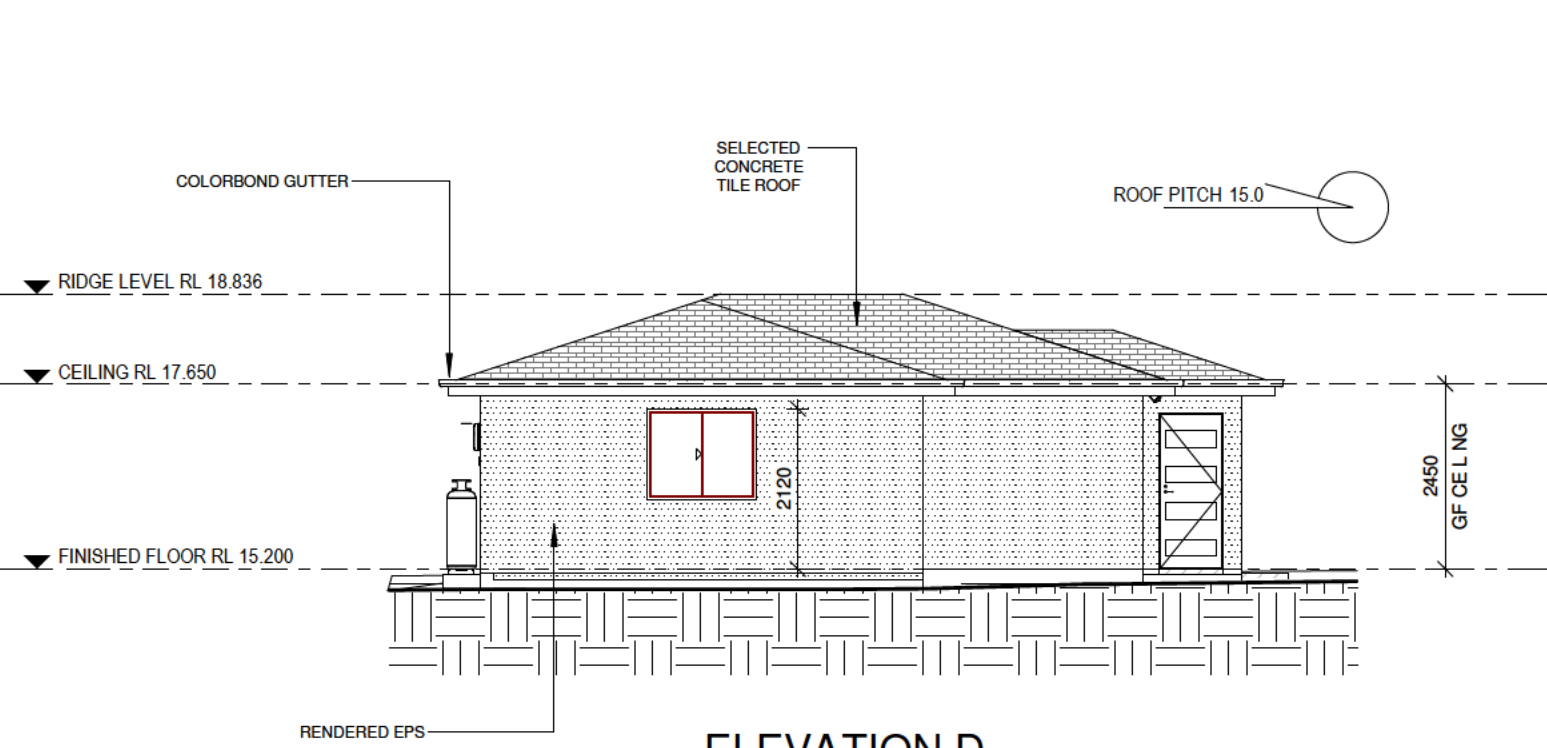
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ELEVATION C

SCALE 1 : 100

W



ELEVATION D

SCALE 1 : 100

S

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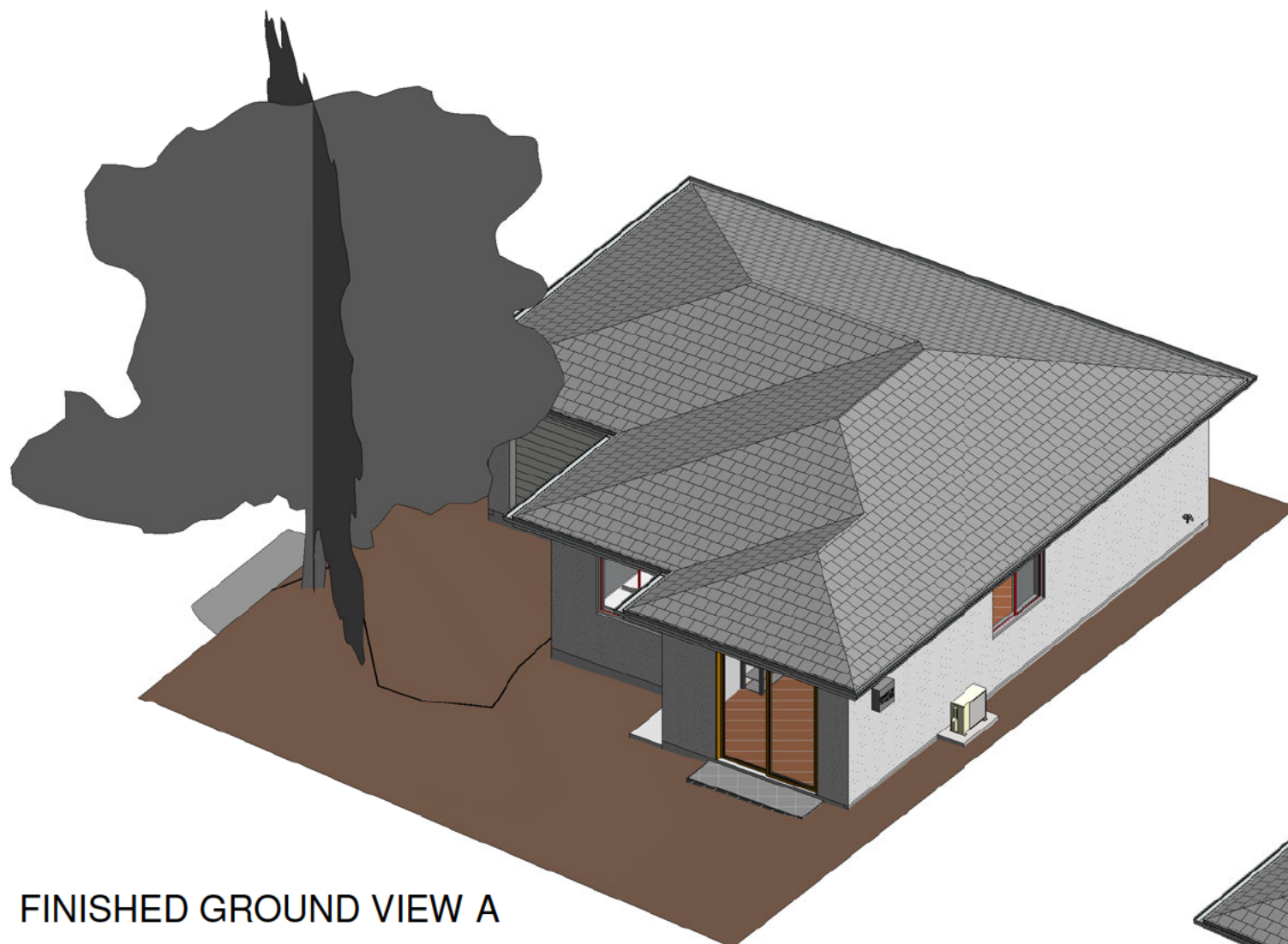
SHEET NAME:		JOB NO:	
<b>ELEVATION</b>		<b>GF76KSA</b>	
DESIGN NAME:	RANGE:	SCALE @ A3:	SHEET NO:
<b>Furci + Garage</b>	<b>DESIGNER</b>	<b>1 : 100</b>	<b>6</b>
	PROJECT STAGE:	REV NO:	DATE:
	<b>DA</b>	<b>3</b>	<b>28.08.2020</b>



PATTERN	DESCRIPTION
	FINISHED GROUND

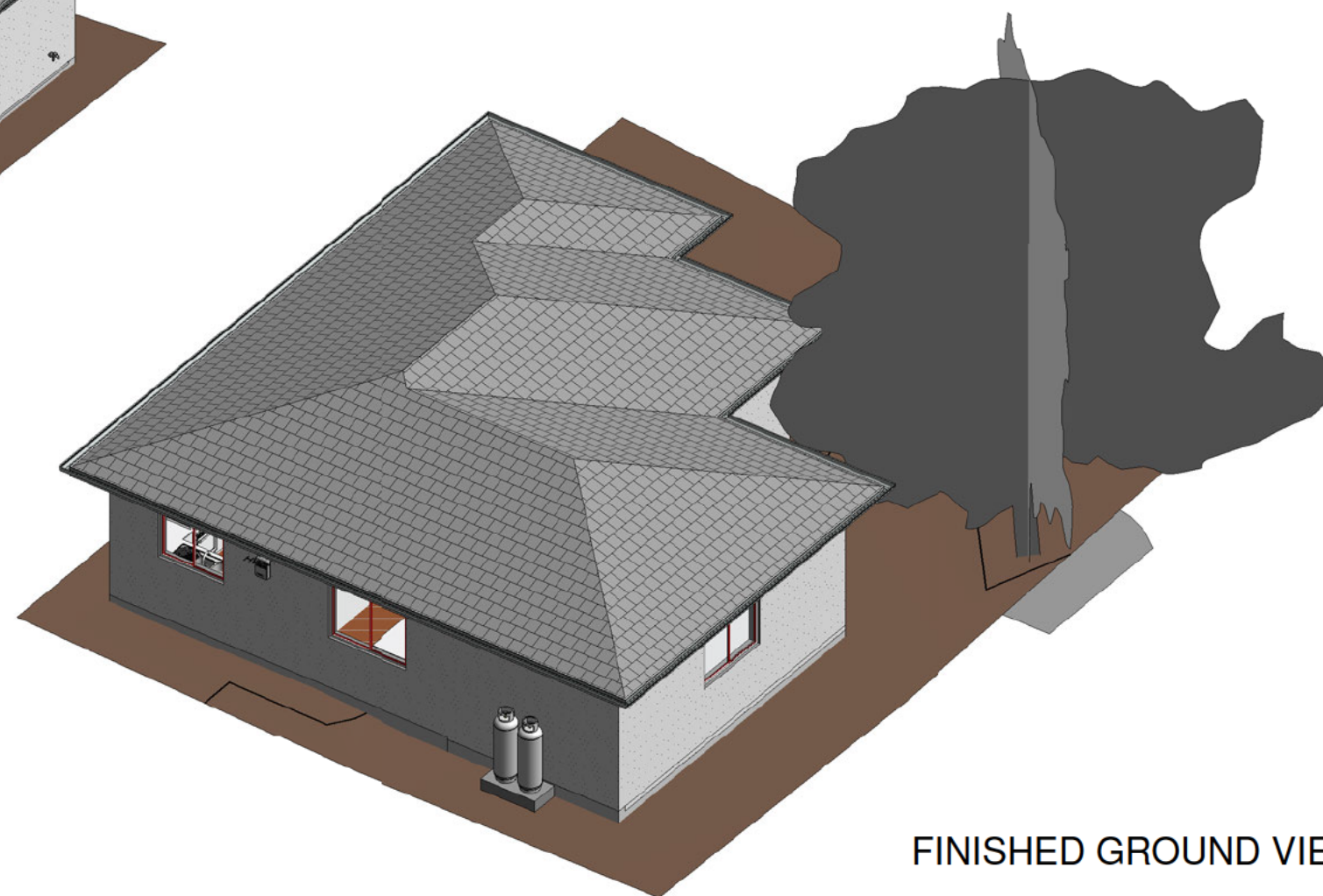
NOTES: NATURAL GROUND LEVEL SHOWN IS PRIOR TO DEMOLITION. NATURAL GROUND LEVEL MAY CHANGE AFTER DEMOLITION. FINISHED GROUND LEVEL IS REFILLED LEVEL. PLEASE REFER TO ENGINEER'S DETAILS FOR EXCAVATION DEPTH

Room Schedule		
Name	Area	Perimeter
KITCHEN & LIVING	29.6 m <sup>2</sup>	28340
BED 1	9.1 m <sup>2</sup>	13200
BATH	4.1 m <sup>2</sup>	8184
BED 2	9.1 m <sup>2</sup>	13320
GARAGE	16.6 m <sup>2</sup>	17040
L'DRY	1.1 m <sup>2</sup>	4391
Grand total: 6	69.5 m <sup>2</sup>	



FINISHED GROUND VIEW A

SCALE 1



FINISHED GROUND VIEW B

SCALE 2

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ABN: 90 155 297 420 LICENCE: 246426C  
Tel: (02) 9564 0011 Fax: (02) 9564 0044  
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DATE	DESCRIPTION	REV	DRAWN	SALES
13.11.2018	SKETCH PLAN	1	PH	R.D.
26.02.2019	SKETCH AMENDMENT	2	PH	R.D.
28.08.2020	DA	3	PH	R.D.

CLIENT'S NAME: <b>Luis Sidonio Pestana</b>	SHEET NAME: <b>3D VIEW</b>	JOB NO: <b>GF76KSA</b>
SITE ADDRESS: <b>76 King Street Ashbury NSW 2193</b>	DESIGN NAME: <b>Furci + Garage</b>	SCALE @ A3: <b>1 : 25</b>
	RANGE: <b>DESIGNER</b>	SHEET NO: <b>7</b>
	PROJECT STAGE: <b>DA</b>	REV NO: <b>3</b>
		DATE: <b>28.08.2020</b>

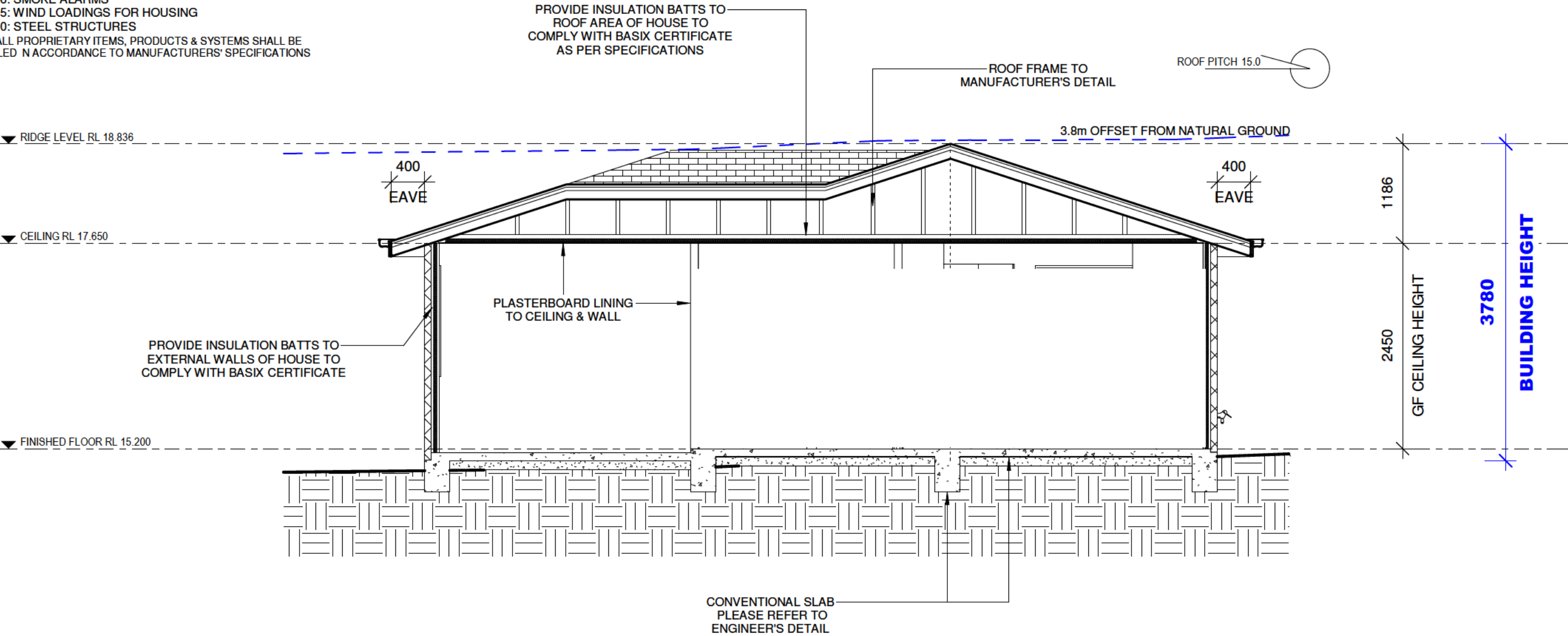


GENERAL NOTES

ALL WORKS SHALL COMPLY WITH BUT NO LIMITED TO THE FOLLOWING AUSTRALIAN STANDARDS:

- AS 1288: GLASS IN BUILDINGS - SELECTION AND INSTALLATION
- AS 1562: DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING
- AS 1684: RESIDENTIAL TIMBER FRAMED CONSTRUCTION
- AS 1860: INSTALLATION OF PARTICLE BOARD FLOORING
- AS 2047: INSTALLATION AND SELECTION OF WINDOWS
- AS 2049: ROOF TILES
- AS 2050: FIXING OF ROOF TILES
- AS 2870: RESIDENTIAL SLABS AND FOOTINGS
- AS 2904: DAMP PROOF COURSES AND FLASHINGS
- AS 3500: PLUMBING & DRAINAGE
- AS 3600: CONCRETE STRUCTURES
- AS 3660: PROTECTION OF BUILDINGS FROM SUBTERANEAN TERMITES
- AS 3700: MASONRY IN BUILDINGS
- AS 3740: WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS
- AS 3959: CONSTRUCTION IN BUSHFIRE PRONE AREA
- AS 3786: SMOKE ALARMS
- AS 4055: WIND LOADINGS FOR HOUSING
- AS 4100: STEEL STRUCTURES

NOTE: ALL PROPRIETARY ITEMS, PRODUCTS & SYSTEMS SHALL BE INSTALLED IN ACCORDANCE TO MANUFACTURERS' SPECIFICATIONS



Section A

SCALE 1 : 50 1

ALL DIMENSIONS ARE IN MILLIMETERS. DO NOT SCALE FROM PLANS. ALL DIMENSIONS ARE FRAME TO FRAME.

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28.08.2020	DA	3	PH	R.D.

CLIENT'S NAME: Luis Sidonio Pestana		SHEET NAME: SECTION		JOB NO: GF76KSA
SITE ADDRESS: 76 King Street Ashbury NSW 2193		DESIGN NAME: Furci + Garage	RANGE: DESIGNER PROJECT STAGE: DA	SCALE @ A3: 1 : 50 REV NO: 3 DATE: 28.08.2020



PLANT SCHEDULE (PROPOSED)						
CODE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	HEIGHT	WIDTH
SHRUBS						
SGI	2	Golden Glory Pea	<i>Gompholobium latifolium</i>	200mm	1.5m	1m
GRASS						
GPP	8	Green Coastal Tussock Grass	<i>Poa poiformis</i> Courtney	150mm	0.5m	0.5m

#### NOTES:

ALL PROPOSED PLANTS CAN BE REPLACED WITH OTHER LOW WATER USE PLANTS. PLEASE REFER TO SYDNEY WATER WEBSITE FOR MORE INFORMATION ABOUT LOW WATER USE PLANTS. ALL LANDSCAPE TO BE FINISHED BY OTHERS UNLESS OTHERWISE SPECIFIED.



GREEN COASTAL TUSOCK GRASS



GOLDEN GLORY PEA

LANDSCAPE COMPLIANCE TABLE			
SITE AREA:	520.1 m <sup>2</sup>		
TOTAL LANDSCAPE REQUIRED::	20%		
TOTAL LANDSCAPE PROPOSED:	109.9 m <sup>2</sup>	21.1%	
LANDSCAPE AREA FORWARD BUILDING LINE			
LANDSCAPE PROPOSED:	36.9 m <sup>2</sup>	7.1%	
LANDSCAPE AREA BEHIND BUILDING LINE			
LANDSCAPE REQU RED:	52.0 m <sup>2</sup>	10%	
LANDSCAPE PROPOSED:	73.0 m <sup>2</sup>	14.0%	

#### SPECIFICATION NOTES

##### PLANTING MATERIALS

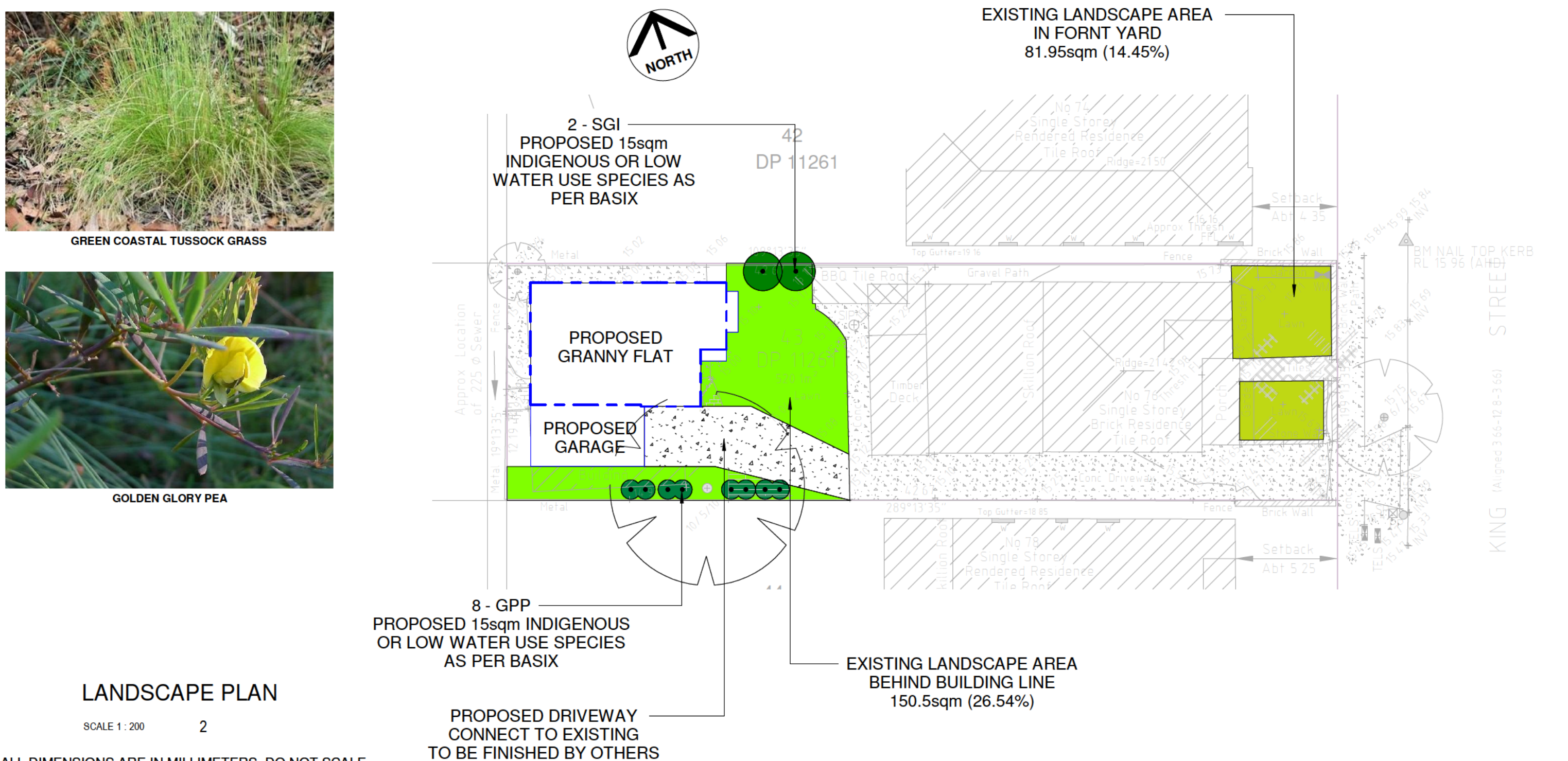
##### Plant Material:

All plant material must be true to the species. All plants shall be free of fungus and insect damage. All plants shall be healthy, well shaped, not soft or force grown and not root bound.

##### Planting Mix:

Imported planting mix to planting beds is to comprise an approved soil mix of:

- 60% Soil mix (75% coarse sand and 25% blacksoil)
- 10% Mushroom compost
- 10% Composted sawdust
- 10% Pine bark fines
- 10% Composted manure



## LANDSCAPE PLAN

SCALE 1 : 200 2

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28.08.2020	DA	3	PH	R.D.

CLIENT'S NAME:  
**Luis Sidonio Pestana**

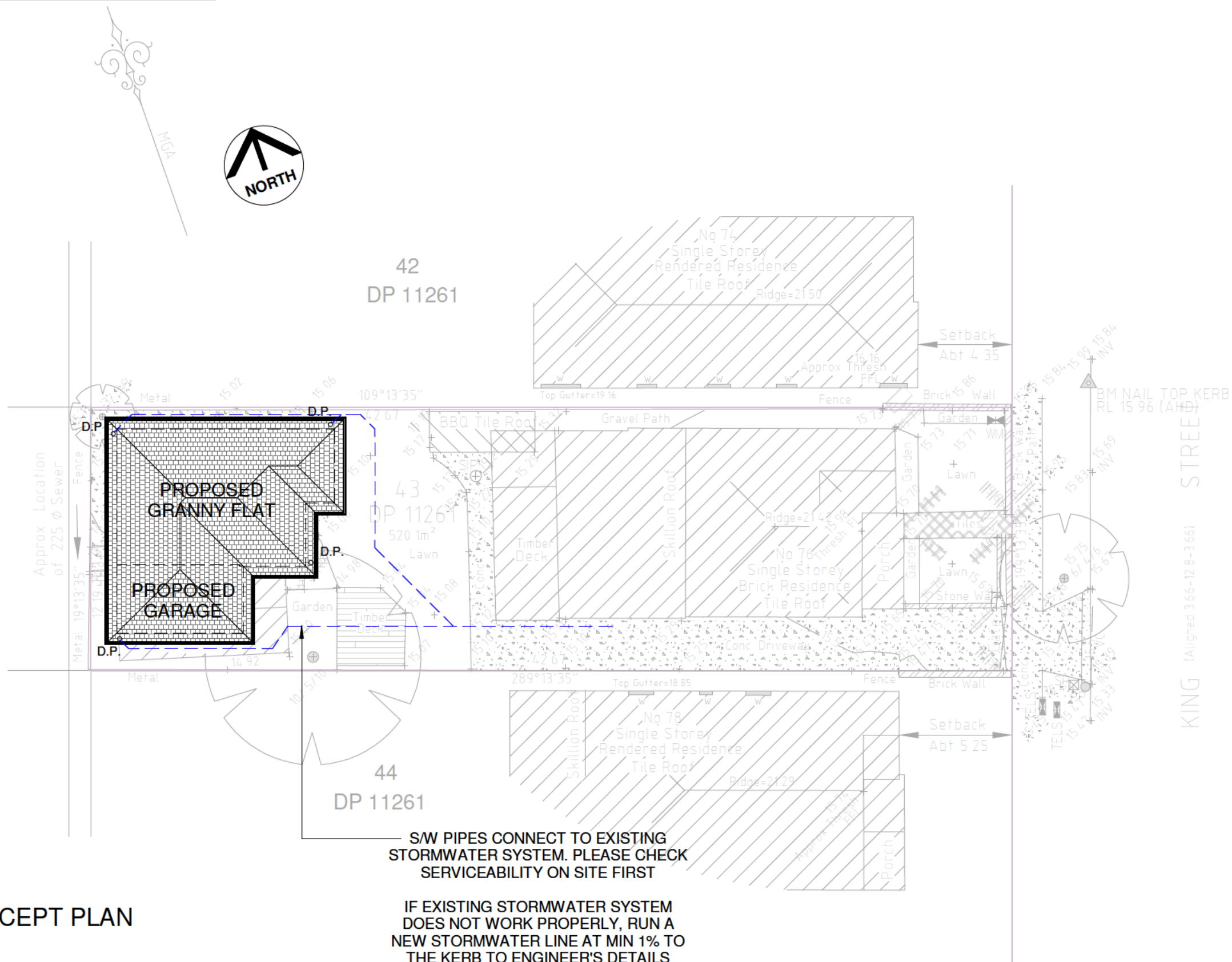
SITE ADDRESS:  
**76 King Street  
Ashbury  
NSW 2193**

SHEET NAME:  
**LANDSCAPE PLAN**

DESIGN NAME:	RANGE:	SCALE @ A3:	SHEET NO:
<b>Furci + Garage</b>	<b>DESIGNER</b>	<b>1 : 200</b>	<b>11</b>
<b>DA</b>	<b>PROJECT STAGE:</b>	<b>REV NO:</b>	<b>DATE:</b>
		<b>3</b>	<b>28.08.2020</b>



NOTES:  
THIS IS A STORMWATER CONCEPT PLAN. PLEASE REFER TO  
ENGINEER'S HYDRAULIC DRAWINGS FOR MORE INFORMATION



## STORMWATER CONCEPT PLAN

SCALE 1 : 200

2

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13.11.2018	SKETCH PLAN	1	PH	R.D.
26.02.2019	SKETCH AMENDMENT	2	PH	R.D.
28.08.2020	DA	3	PH	R.D.

CLIENT'S NAME:  
Luis Sidonio Pestana

SITE ADDRESS:  
76 King Street  
Ashbury  
NSW 2193

SHEET NAME:  
STORMWATER CONCEPT PLAN

JOB NO:  
GF76KSA

DESIGN NAME:	RANGE:	SCALE @ A3:	SHEET NO:
Furci + Garage	DESIGNER	1 : 200	13
	PROJECT STAGE:	REV NO:	DATE:
	DA	3	28.08.2020

SITE MANAGEMENT NOTES:

1) CONSTRUCTION VEHICLES ARE TO LEAVE AND ENTER THE SITE OVER AN ALL WEATHER SURFACE CONSISTING OF COURSE CRUSHED STONE OR BLUE METAL CONSTRUCTED WITH N THE FRONT SETBACK AREA OPPOSITE THE EXIST NG FOOTPATH CROSSING.

2) ANY BUILDING / DEMOLITION WORKS INVOLVING ASBESTOS SHALL BE CARRIED OUT N ACCORDANCE WITH THE RELEVANT STANDARDS.

3) ADEQUATE SAFETY SIGNAGE MUST BE ERECTED IN A PROMINENT POSITION ON THE WORK SITE, WARNING OF UNAUTHORIZED ENTRY TO WORK SITE & NTENDING DANGERS.

4) NOISE LEVELS SHALL BE KEPT BELOW COUNCIL REGULATION LEVELS. BUILDING & DEMOLITION WORKS SHALL ONLY BE CARRIED OUT BETWEEN HOURS & DAYS SPECIFIED BY COUNCIL.

5) ALL EXCAVATED & CONSTRUCTION MATERIALS, SHED, SK P B NS, TEMPORARY WATER CLOSETS, SPO L & EQUIPMENT, ETC SHALL BE KEPT WITH N THE PROPERTY. NO VEHICLES OR MACHINES SHALL BE KEPT WITHIN THE PROPERTY. NO VEHICLES OR MACHINES SHALL STAND ON COUNC L FOOTPATHS FOR LONG LENGTHS OF TIME.

6) EXCAVATION MACHINERY ARE TO BE UNLOADED AND LOADED UPON THIS ALL WEATHER SURFACE. CONCRETE PUMPS & TRUCKS W LL ALSO UTILIZE THE ALL WEATHER SURFACE FOR THE OPERATIONS.

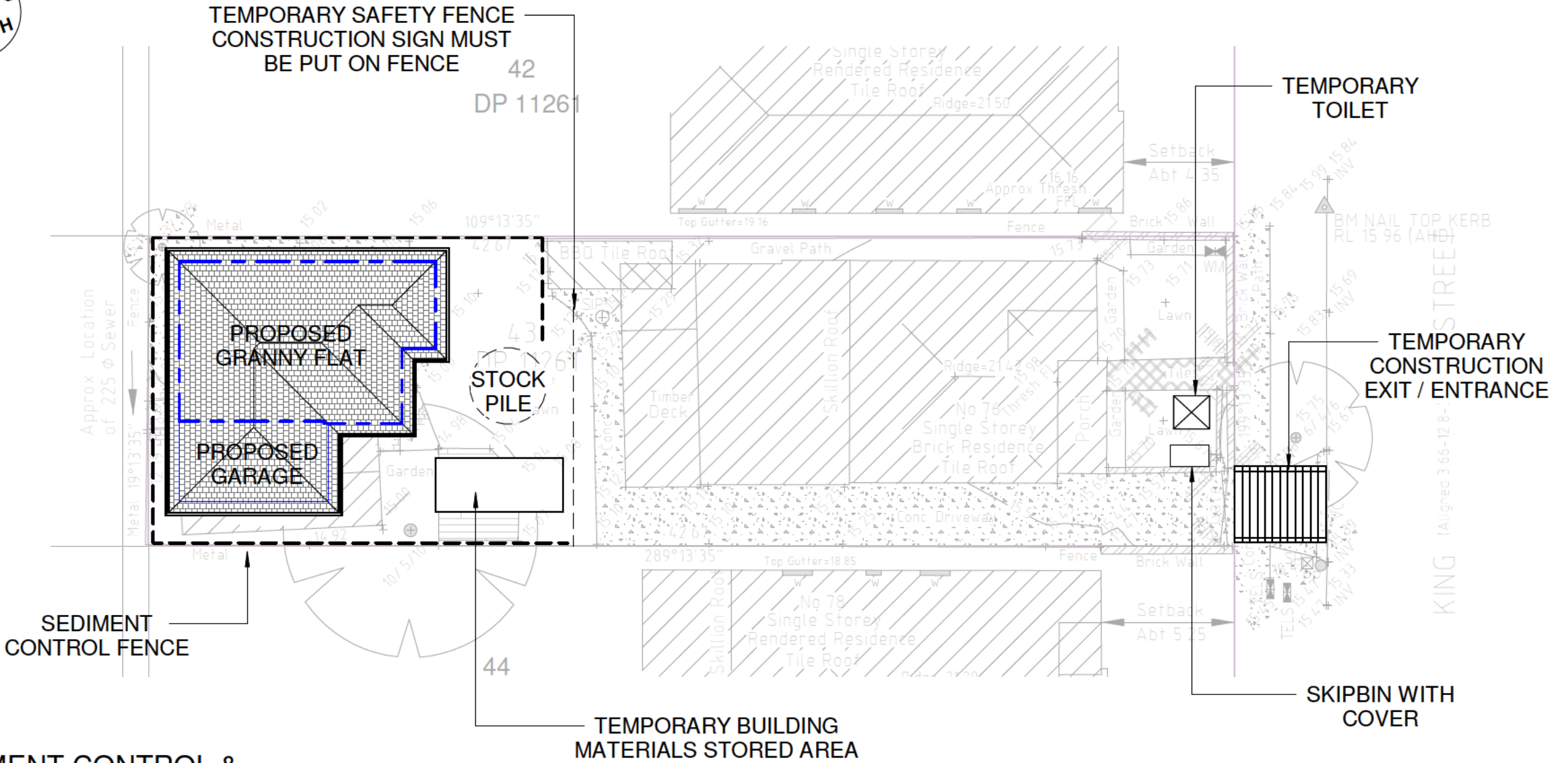
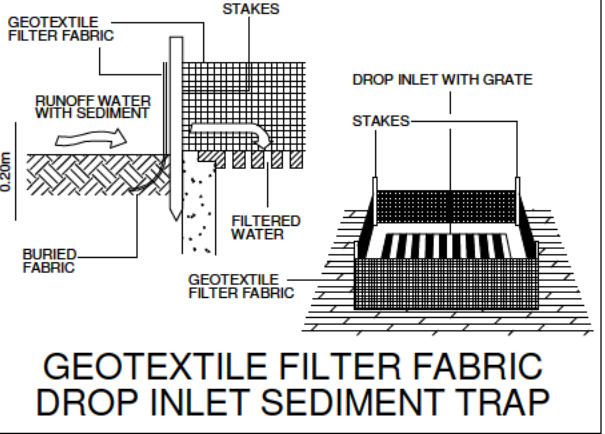
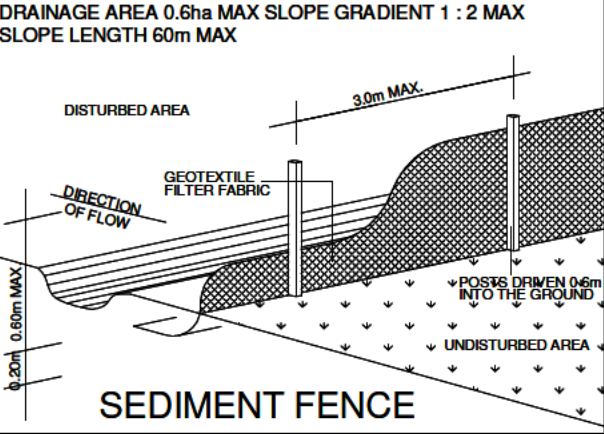
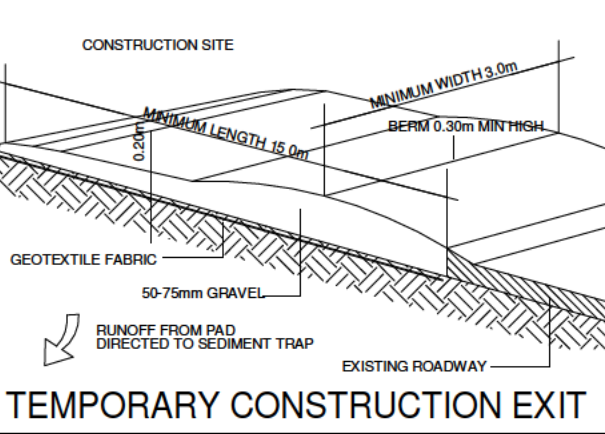
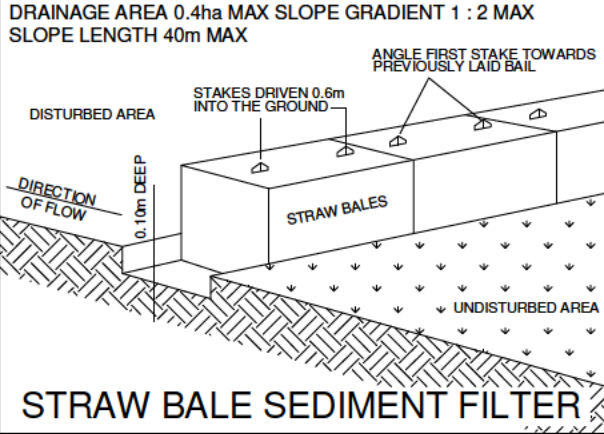
7) SOME STOCKPIL NG OF TOPSOIL REMOVED FROM THE BUILD NG AREA MAY BE STORED ON THE SITE DURING THE CONSTRUCTION WITHIN THE PROPERTY N AN AREA ENCLOSED WITH N THE SEDIMENT CONTROL FENC NG.

8) ALL RUBBISH & RECYCLABLE MATERIAL SHALL BE STOCKP LED IN WASTE B NS IN THE AREA NOMINATED ON THE SITE PLAN WITHIN THE SITE BOUNDARY. PUBLIC PROPERTY WILL BE KEPT FREE OF RUBBISH & RECYCLABLES AT ALL TIMES ANY WASTE MATERIALS SHALL BE REGULARLY COLLECTED FROM THE SITE & DISPOSED OF IN AN APPROPRIATE FASHION.

9) SAFETY FENCES SHALL BE PROVIDED AROUND ALL BOUNDARIES UNLESS A CONT NUOUS STRUCTURALLY ADEQUATE FENCE PRESENTLY EXISTS. THE FENCING SHALL BE ADEQUATE TO RESTRICT PUBLIC ACCESS TO THE SITE WHEN BUILDING WORK IS NOT IN PROGRESS OR THE SITE IS UNOCCUP ED.

10) ALL SED MENT CONTROL STRUCTURES ARE TO BE CONTINUALLY MAINTAINED DUR NG CONSTRUCTION AND INSPECTED FOR STRUCTURAL DAMAGE AFTER EACH RAINFALL EVENT, WITH TRAPPED SEDIMENT BEING REMOVED TO THE TOPSOIL STOCKPILE

11) WHERE THERE IS THE POTENTIAL OF SITE EROSION TO PRODUCE EXCESSIVE SEDIMENT RUNOFF SUITABLE GEOTEXTILE BARR ERS SHALL E PLACED TO ALLEVIATE THE RISK ACCORDINGLY. BARE SURFACED SHALL BE KEPT MOIST TO REDUCE DUST LEVELS. BARE SURFACED SHALL BE KEPT MOIST TO REDUCE DUST LEVELS. GEOTEXT LE FABRIC LOCATED ON THE INSIDE OF FENCES SHALL ALSO BE UTILIZED FOR DUST CONTROL WHERE NECESSARY.



SEDIMENT CONTROL & CONSTRUCTION MANAGEMENT PLAN

SCALE 1 : 200

3

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NSW 2193

SHEET NAME: SEDIMENT CONTROL & CONSTRUCTION MANAGEMENT PLAN		JOB NO: GF76KSA	
DESIGN NAME: Furci + Garage	RANGE: DESIGNER PROJECT STAGE: DA	SCALE @ A3: As indicated REV NO: 3	SHEET NO: 14 DATE: 28.08.2020